

NSW Land & Housing Corporation, Senior Living Development
62-66 Pank Parade, Blacktown, NSW
Lot 46,47,48 DP32163.
Part 5 Activity Submission

Architectural Part 5 Activity Submission

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Civil-Stormwater Drawing Schedule

220716	C01	Notes & Legends
220716	C02	Ground Floor Drainage Plan
220716	C03	Site Stormwater Details Sheet

Landscape Drawing Schedule

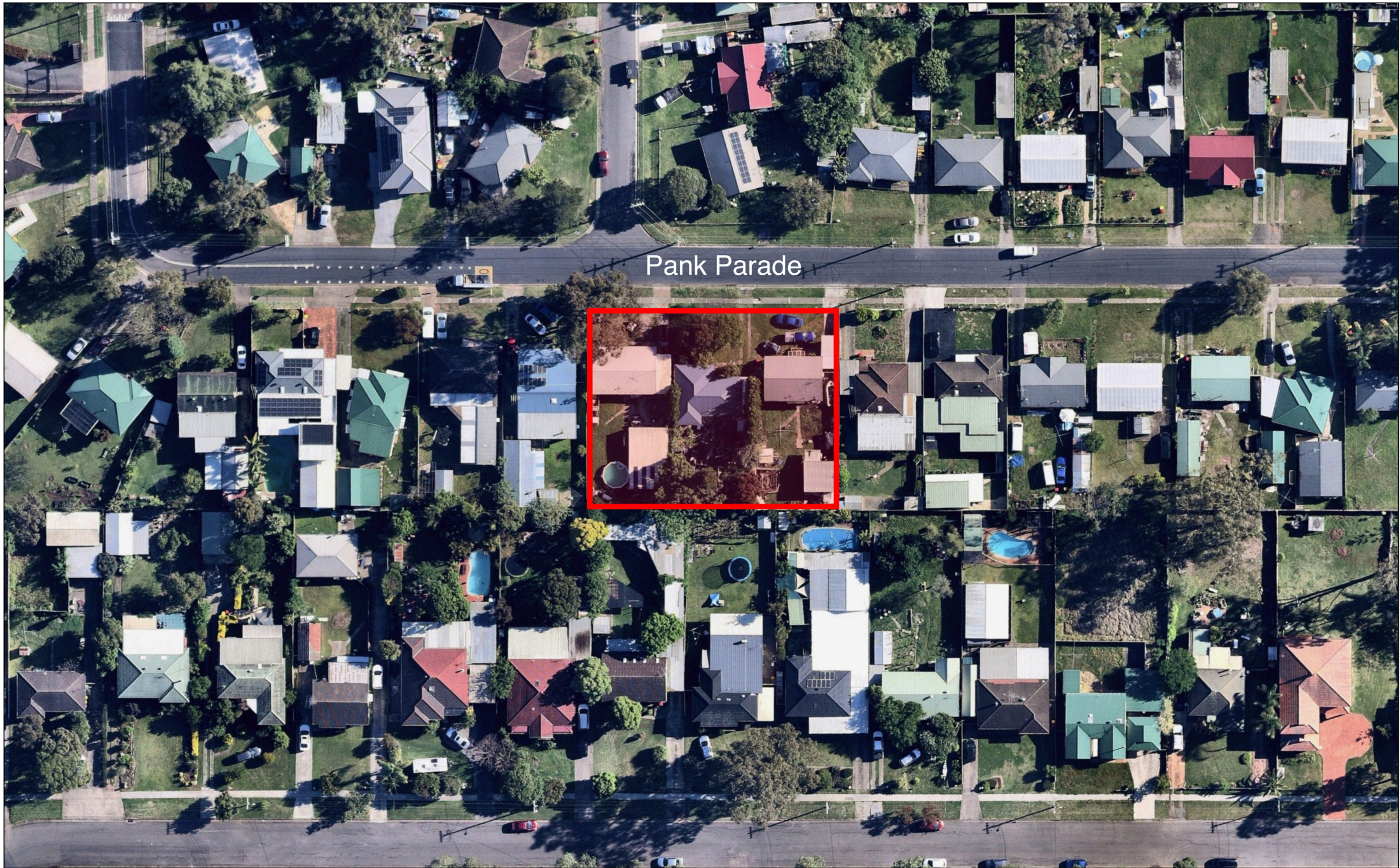
BGYPX	L01	Landscape Plan
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Survey Drawing Schedule

S	Contour and Detail Survey
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NATHERS Thermal Performance Specification - Blacktown			
External Walls			
Wall Type	Insulation	Colour	Comments
Cavity brick	R0.7	Light - SA < 0.475	Ground floor
Cavity brick with metal clad	R0.7	Light - SA < 0.475 Med - SA 0.475 - 0.70	First floor
SA - Solar Absorptance			
Internal Walls			
Wall Type	Insulation	Comments	
Single skin brick	None	Internally in units except below	
Single skin brick	R1.5	Internal wall of bathroom in U3, 6, 9, 12	
Cavity brick	None	Party walls between dwellings/lobby/staircase	
Floors			
Floor Type	Insulation	Comments	
Concrete slab on ground	None	Ground floor	
Suspended concrete	None	Part of Level 1	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	None	Unit above	
Plasterboard	R4.1	Roof above	
Insulation loss due to downlights has been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	Insulation	Colour	Comments
Metal roof	R1.8 foil-faced blanket	Med - SA 0.475 - 0.70	Throughout (Unvented cavity)
SA - Solar Absorptance			
Glazing			
Opening type	U-Value	SHGC	Glazing & Frame Type
Sliding + fixed: U1, 2, 4, 5, 6, 7, 8, 10, 11, 12	5.4	0.58	e.g. Single glazed low-e clear Aluminium frame
Sliding + fixed: U3 & 9	4.1	0.52	e.g. Double glazed clear Aluminium frame
Awning + glazed door: U1, 2, 4, 5, 6, 7, 8, 10, 11, 12	5.4	0.49	e.g. Single glazed low-e clear Aluminium frame
Awning + glazed door: U3 & 9	4.1	0.47	e.g. Double glazed clear Aluminium frame
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.			
Skylights			
Skylight Type	Frame Type		Comments
Double glazed clear - operable U-vale 4.2 SHGC 0.72	Aluminium		U6 & 12
Single glazed clear - fixed skytube	Timber & Aluminium		U4 & 11
Ceiling fans			
Size	Location		Comments
Minimum 1200mm in diameter	Living/dining + bedrooms		Throughout



01 Location Plan
not to scale



7.2

Average star rating

NATIONWIDE HOUSE

www.hafers.gov.au

0008084010 15 Nov 2022

Assessor Dean Gorman

Accreditation No. DMN13/1645

Address 62-66 Pank Parade

Blacktown , NSW , 2148

hstar.com.au

02	Part 5 Submission - Response to Council Request
01	Part 5 Submission
Rev	Date Issue
do not scale drawings. check all dimensions on site. figured dimensions take precedence.	

Project Architect:
Stanton Dahl Architects
Ph: (02) 8544 1683

Landscape Consultant:
Botanique Design
Ph: 0404 887 620

Hydraulic & Structural Consultant:
Greenview Consulting
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Architect:

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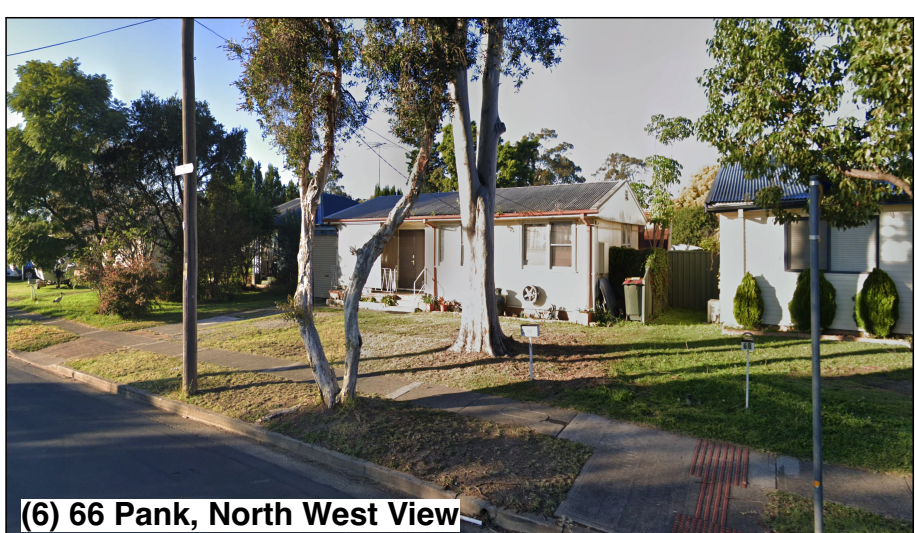
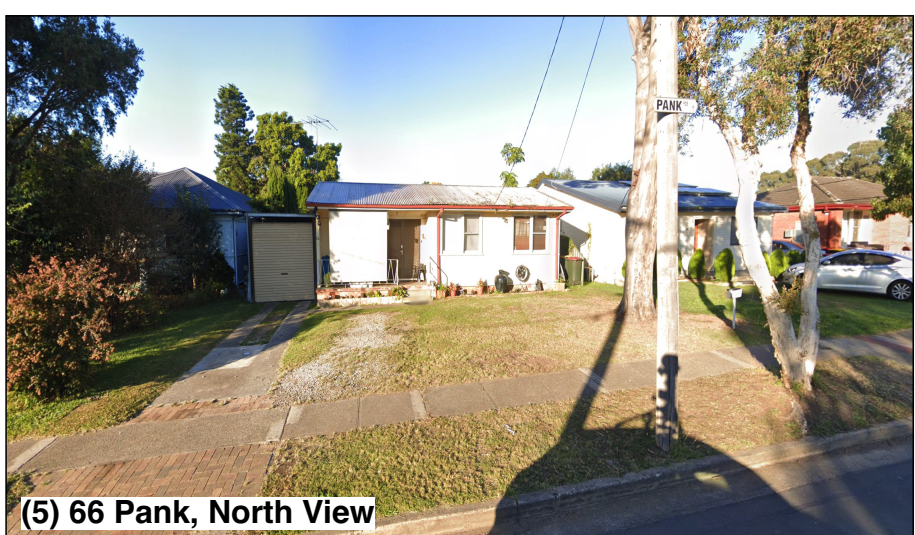
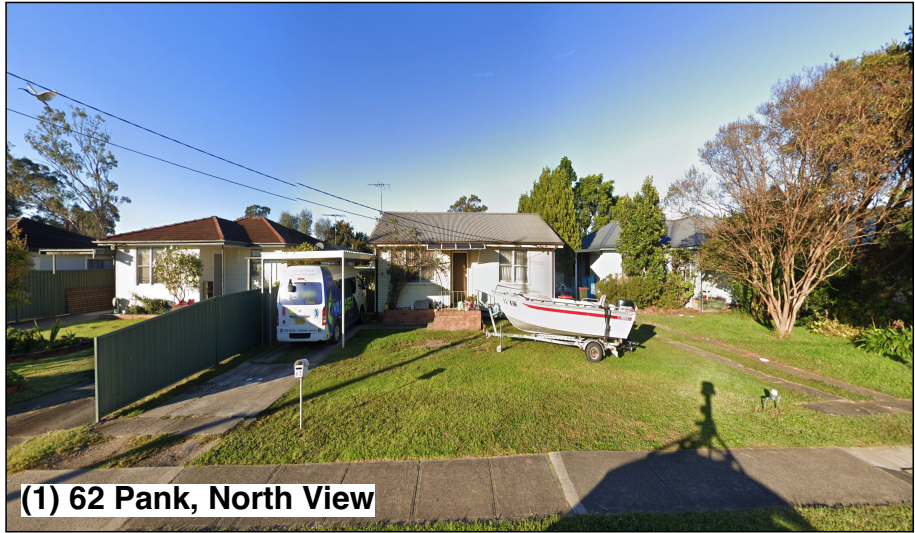
Project:
Senior Living Development
at
62-66 Pank Parade, Blacktown

Title:
Perspective Images

File: 2793.22_62-66 Pank St _Site Master_D
Plotted: 23/6/2023

Status: **Part 5 Activity Submission**

Date: 23/6/2023	Scale: @ A1	S18 job no: 2793.22	Project no: BGYPX
Stage: JOK, DD	Drawn: JOK	Checked: JOK	Approved: JOK
Sheet: 2	Rev: 02	of 14	



- Legend** site & block analysis plan
note: drawing may not contain all items listed below
- existing trees to be retained
 - existing trees to be removed
 - existing structures
 - DCP setbacks
 - site boundaries
 - approx. location of existing contours
 - Richmond Rd Medical Centre
 - Westpoint Shopping Centre
 - Blacktown Showground
 - Mary Reserve
 - Marayong South Primary School

0008084010 15 Nov 2022
Assessor Dean Gorman
Accreditation No. DMN13/1645
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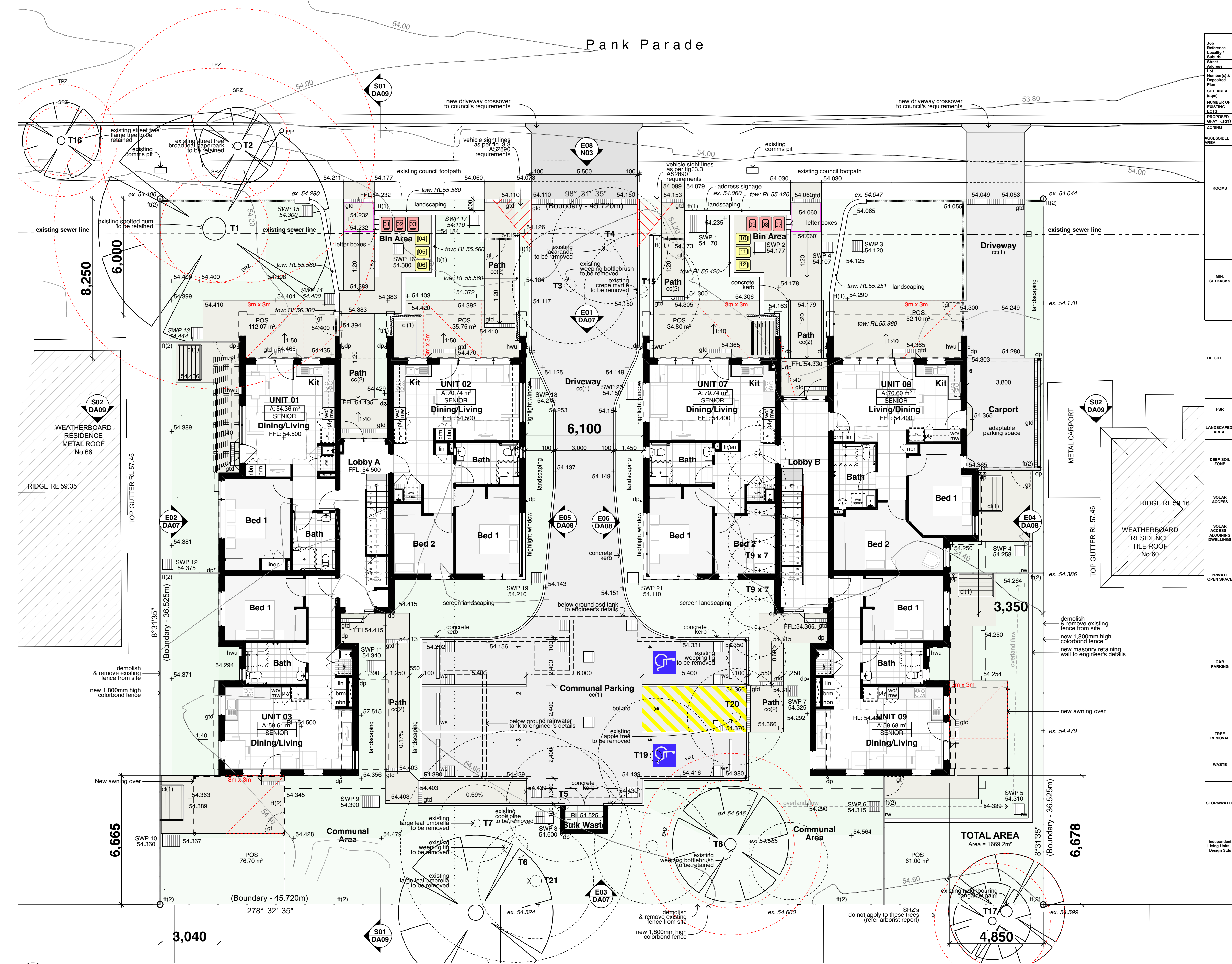
Stanton
Dahl
Architects

Project:
Senior Living Development
at
62-66 Pank Parade, Blacktown

Title:
Site & Block Analysis Plan
File:
2793.22_62-66 Pank St_Site Master_ID

Status: Part 5 Activity Submission
Date: 23/6/2023
Stage: 01
Scale: 1:200 @ A1
Drawn: JOK, DD
Checked: JOK
Rev: JOK

DA02 3 of 14 02



DEVELOPMENT DATA TABLE					
Job Reference	BGYPX				
Locality	Blacktown				
Suburb	Blacktown				
Address	62-66 Pank Parade				
Lot	Lots 46, 47 & 48 in DP 32163				
Number(s) & Deposited	1969.2m ² - sourced from DP / survey (excluding any lot for easement purposes)				
Plan	874.51m ²				
PROPOSED GFA (±m)	3				
NUMBER OF EXISTING LOTS	3				
ZONING	R2 zone - Seniors Housing permitted with consent (Housing SEPP cl. 108A(b) satisfied)				
ACCESSIBLE AREA					
ROOMS	Number	Type	No of bedrooms	Private open space	
				POS required m ²	POS proposed m ²
MIN. SETBACKS	Housing SEPP cl. 108A(b) & DCP - MDH	Front Setback	1	15m ²	
				15m ²	
				15m ²	
				15m ²	
				15m ²	
				15m ²	
				15m ²	
				15m ²	
				15m ²	
				15m ²	
				15m ²	
				15m ²	
HEIGHT	Housing SEPP cl. 108A(b) & DCP - MDH	Side Setback	1	3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
LANDSCAPED AREA	Housing SEPP cl. 108A(b) & DCP - MDH	Rear Setback	1	3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
				3m	
SOLAR ACCESS	Housing SEPP cl. 108A(b) & DCP - MDH	Solar Access - ADJACENT DWELLINGS	1	0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
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				0.5 x 1000 = 500.0m ²	
PRIVATE OPEN SPACE	Housing SEPP cl. 108A(b) & DCP - MDH	Private Open Space	1	0.5 x 1000 = 500.0m ²	
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CAR PARKING	Housing SEPP cl. 108A(b) & DCP - MDH	Car Parking	1	0.5 x 1000 = 500.0m ²	
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				0.5 x 1000 = 500.0m ²	
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				0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
TREE REMOVAL	Housing SEPP cl. 108A(b) & DCP - MDH	Tree Removal	1	0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
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				0.5 x 1000 = 500.0m ²	
WASTE	Housing SEPP cl. 108A(b) & DCP - MDH	Waste	1	0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
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				0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
STORMWATER	Housing SEPP cl. 108A(b) & DCP - MDH	Stormwater	1	0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
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				0.5 x 1000 = 500.0m ²	
INDEPENDENT LIVING UNITS - DESIGN SIDE	Housing SEPP cl. 108A(b) & DCP - MDH	Independent Living Units - Design Side	1	0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
				0.5 x 1000 = 500.0m ²	
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				0.5 x 1000 = 500.0m ²	

- Legend (external work / site plan)
note: drawing may not contain all items listed below
- 64 ex. contours & banking line
 - existing trees to be retained
 - existing trees to be removed
 - proposed new trees
 - ex. RL 00.00 → existing levels
 - RL 00.00 → proposed levels
 - 39,000 proposed spot levels (ft)
 - ac air conditioner condenser
 - acc accessible
 - adch ageing, disability & home care
 - ap access panel
 - bal(1) balustrade (type)
 - bfc broom finished concrete
 - boe brick on edge
 - bol bollard
 - cc(1) coloured concrete (type)
 - ctf(1) ceramic floor tile (type)
 - cl clothes line
 - col column
 - cd downpipe
 - drp doorpost
 - ex existing
 - fb(1) facebrick work (type)
 - ff finished floor level
 - ft(1) fence (type)
 - gb garbage bin
 - gld gate
 - gtd graded drain
 - hr(1) handrail (type)
 - ht hose tap
 - hwu hot water unit
 - hyd hydrant
 - kr kerb ramp
 - lb off form concrete
 - ofc off form concrete
 - pos private open space
 - prmp permeable paving
 - pp power pole
 - rw(1) retaining wall (type)
 - rwo rainwater outlet
 - rwt rainwater tank
 - sfc steel float concrete
 - sfl structural floor level
 - swp storm water pit
 - tc towel finished concrete
 - tsi tactile ground surface indicator
 - tow top of wall
 - w/c wood float concrete
 - ws wheel stop

Legend (floor plans)

note: drawing may not contain all items listed below

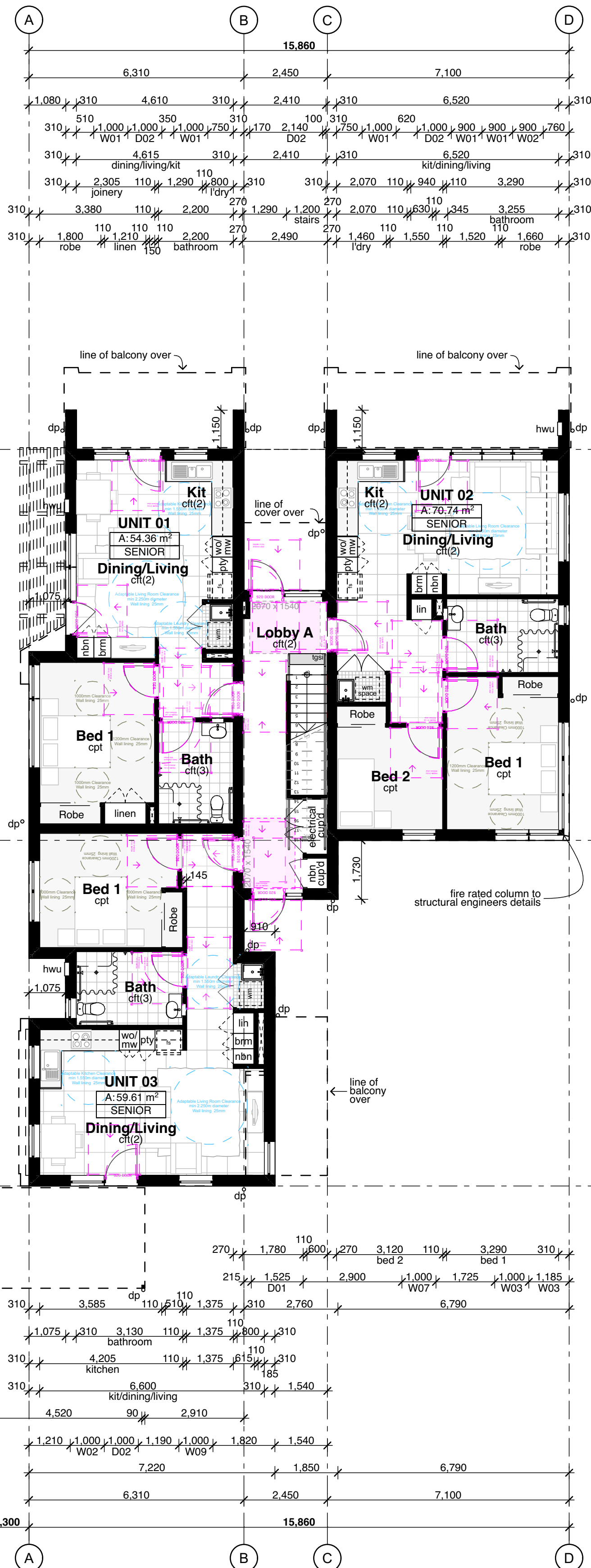
- (D01) door numbers (as scheduled)
(prefix ex. for existing door)
- (W01) window numbers (as scheduled)
(prefix ex. for existing window)

- (a) → wall type (as scheduled)

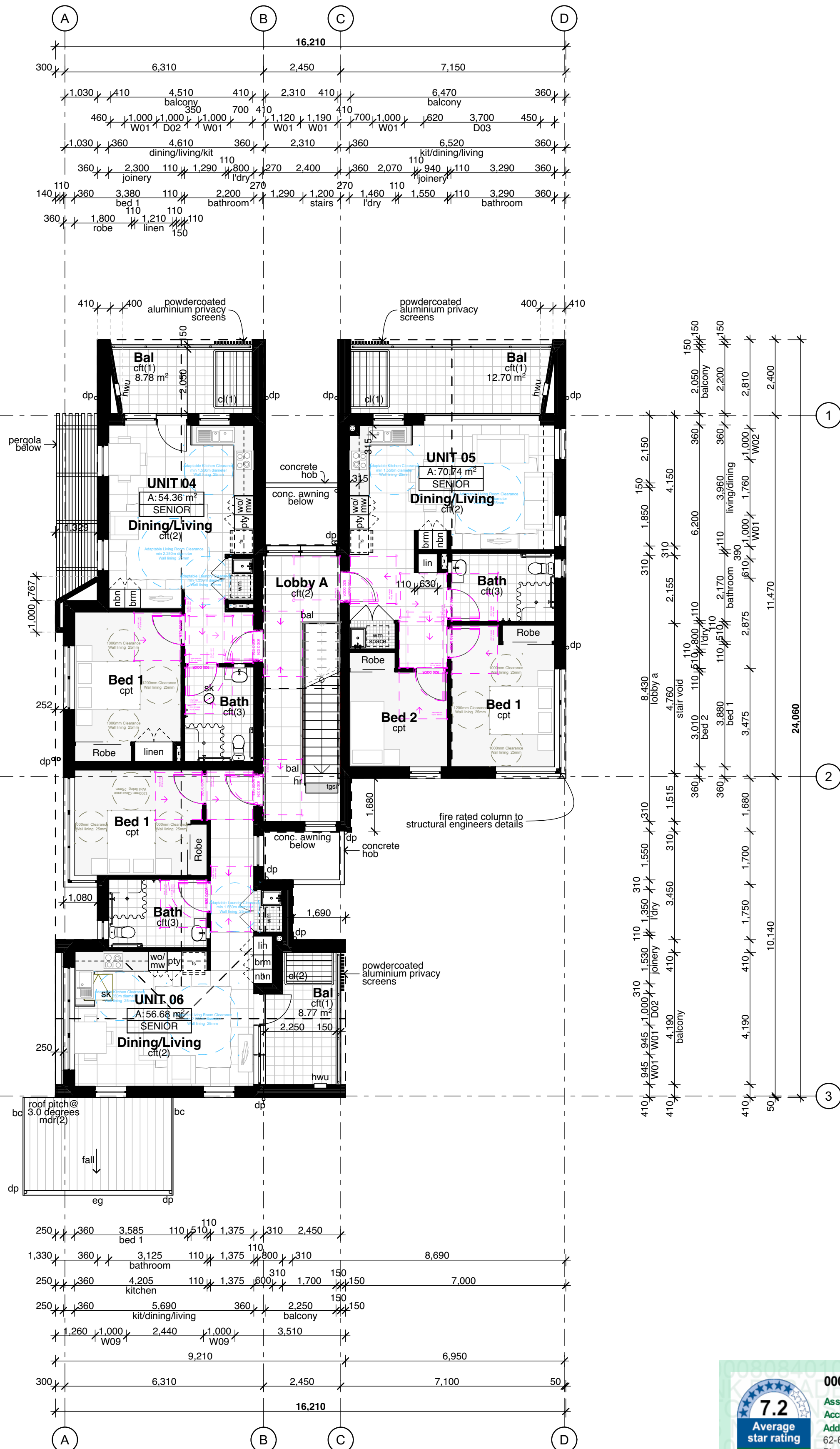
- ac air conditioner condenser
acc accessible
adhc ageing, disability & home care
amb ambulant
ap access panel
bal(1) balustrade (type)
blc broom finish concrete
bol bollard
brm broom cupboard
bsn basin
cht(1) ceramic floor tile (type)
cj control joint
cl clothes line
col column
comms communication cabinet
cpt(1) carpet (type)
ct cooktop
dp downpipe
drp doorpost
edb electrical distribution box
ex existing
fb(1) face brickwork (type)
fr fire hose reel
fm floor mat
fp feature panel
fs fridge space
fw floor waste
gb garbage bin
gt gate
gtd grated drain
hr(1) handrail (type)
hr hose tap
hru hot water unit
hyd hydrant
kr kerb ramp
lb letter box
lin linen cupboard
mw microwave
ofc off form concrete
pmp permeable paving
ps privacy screen
pty pantry
robe wardrobe
rw(1) retaining wall (type)
rwt rainwater tank
snk sink
sc steel column
slc steel float concrete
shr shower
sk skylight/skylube
sl sliding door
st store
sv(1) sheet vinyl (type)
swp storm water pit
tgsi tactile ground surface indicators
vp vent pipe
wlc wood float concrete
wm washing machine space
wo wall oven
ws wheel stop
wcs window casing

(window & door schedule)

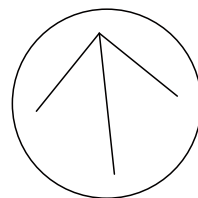
- note:
1. dimensions are typically to wall openings unless noted otherwise
2. all door/window openings are to be site measured prior to any fabrication of frames.
3. check measure against structural layout.
4. please read in combination with all other documentation and schedules. plans take priority on door swings.
5. refer any discrepancies to the architect for further information.
6. flyscreens to all operable windows unless specified.
7. door sills and window sub sill as specified, and detailed in sections.
8. all 870 door leaf or greater doors are to be supplied and installed to comply with AS1428.1 disabled access standard.
9. door grilles have not been shown for clarity - refer to mechanical engineer's details.
10. refer to specification for basis/ section j details of all external windows & doors.
11. all existing doors nominated as undercut to be coordinated with mechanical engineer's documentation.
12. colorbond preformed cover plate to all columns engaged to the glazing systems where necessary.
13. refer to external finishes schedule for metal cladding.



01 Ground Floor Plan (Block A)
1:100



02 First Floor Plan (Block A)
1:100



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Architect:



Project:
Senior Living Development
at
62-66 Pank Parade, Blacktown

Title:
Ground & First Floor Plan (Block A)
File:
2793.22_62-66 Pank St_Site Master_D

Plotted: 23/6/2023

Status: Part 5 Activity Submission

Date:	23/6/2023	Scale:	1:100 @ A1	S/D job no:	2793.22	Project no:	BGYPX
Stage:		Drawn:	JOK, DD	Checked:	JOK	Approved:	JOK
Drawing:	DA04	Sheet:	5				

of 14 02

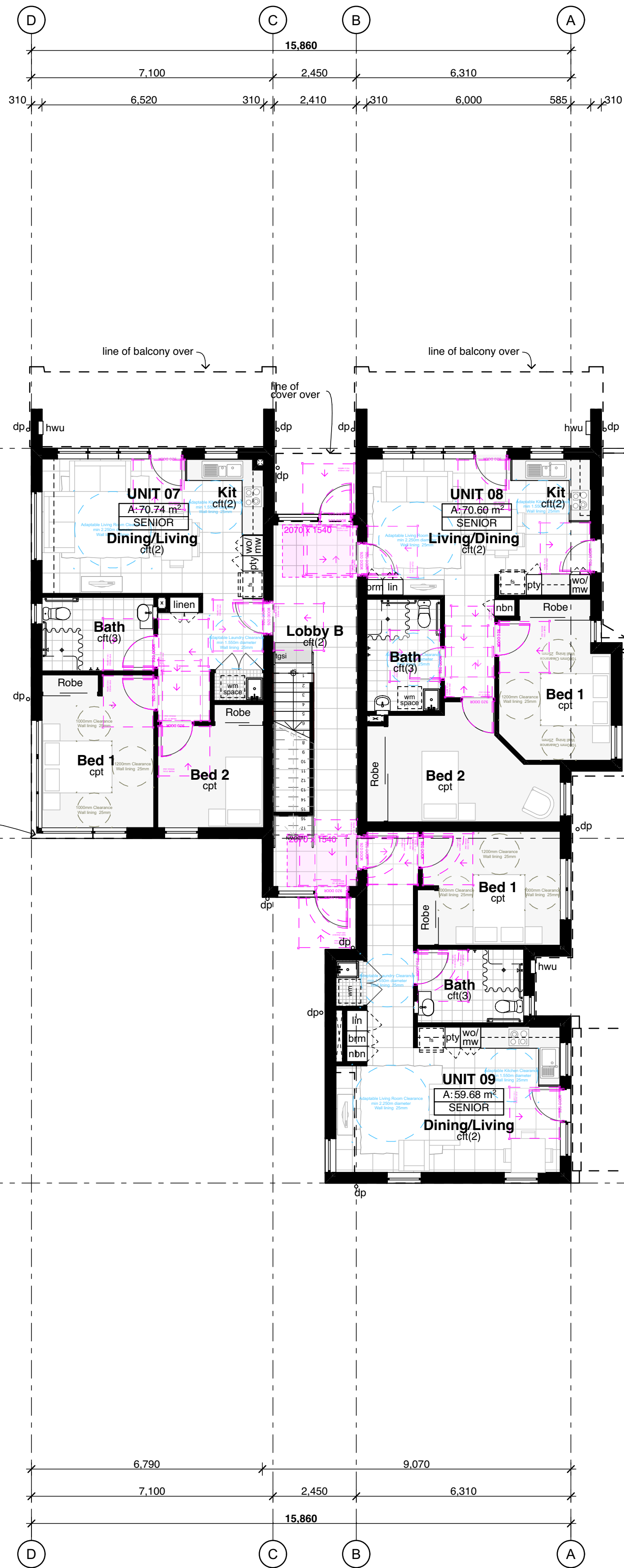


Legend (floor plans)
note: drawing may not contain all items listed below

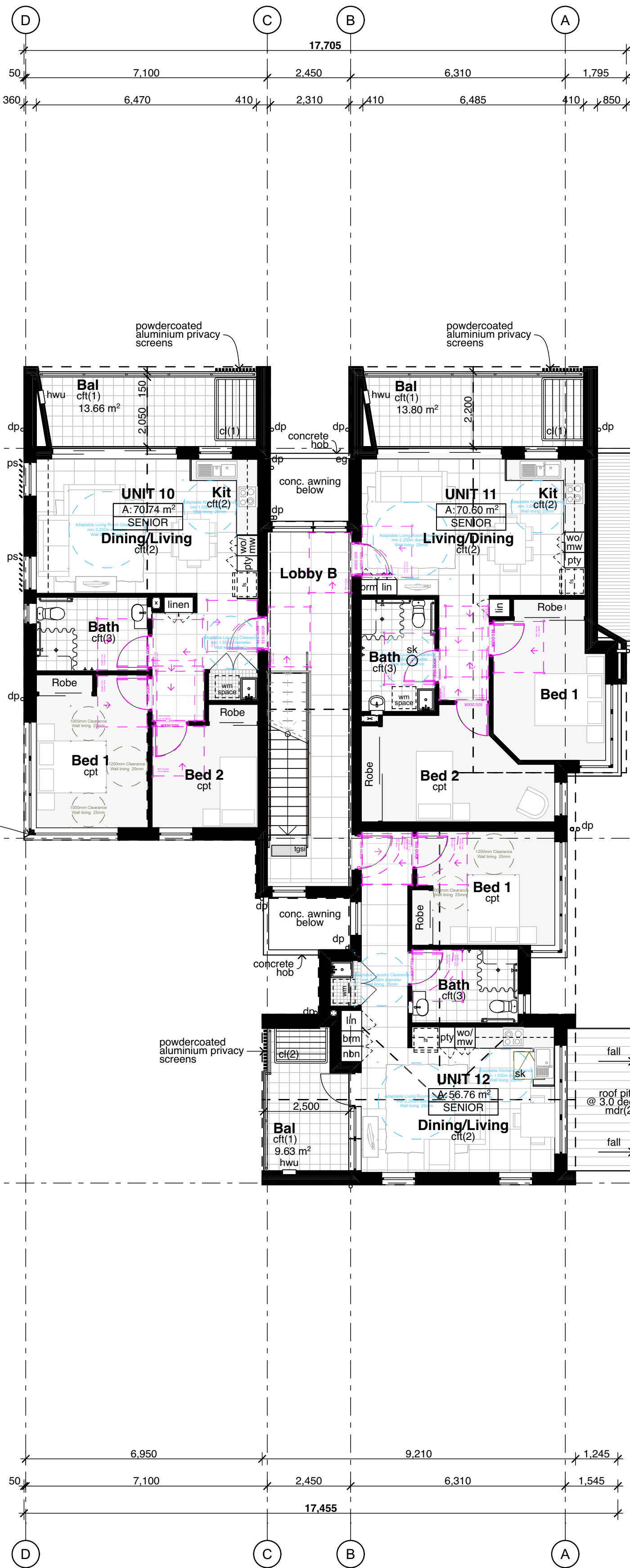
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brm broom cupboard
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cht(1) ceramic floor tile (type)
cj control joint
cl clothes line
cpl column
comms communication cabinet
cpt(1) carpet (type)
ct cooktop
dp downpipe
drp doorpost
edb electrical distribution box
ex. existing
fb(1) face brickwork (type)
fhr fire hose reel
fm floor mat
fp feature panel
fs fridge space
fw floor waste
gb garbage bin
gt gate
gld grated drain
hr(1) handrail (type)
ht hose tap
hwu hot water unit
hyd hydrant
kr kerb ramp
lb letter box
lin linen cupboard
mw microwave
ofc off form concrete
pmp permeable paving
ps privacy screen
pty pantry
robe wardrobe
rw(1) retaining wall (type)
rwt rainwater tank
snk sink
sc steel column
slc steel float concrete
shr shower
skr skylight/skytube
sl sliding door
st store
sv(1) sheet vinyl (type)
swp storm water pit
tgsi tactile ground surface indicators
vp vent pipe
wlc wood float concrete
wm washing machine space
wo wall oven
ws wheel stop
wcs window casing

(window & door schedule)

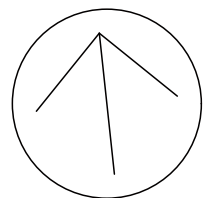
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01 Ground Floor (Block B)
1:100



02 First Floor (Block B)
1:100



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Ph: (02) 8544 1683

Architect:

Stanton
Dahl
Architects

Project:
Senior Living Development
at
62-66 Pank Parade, Blacktown

Title:
Ground & First Floor Plan (Block B)
File:
2793.22_62-66 Pank St_Site Master_ID

Status: Part 5 Activity Submission

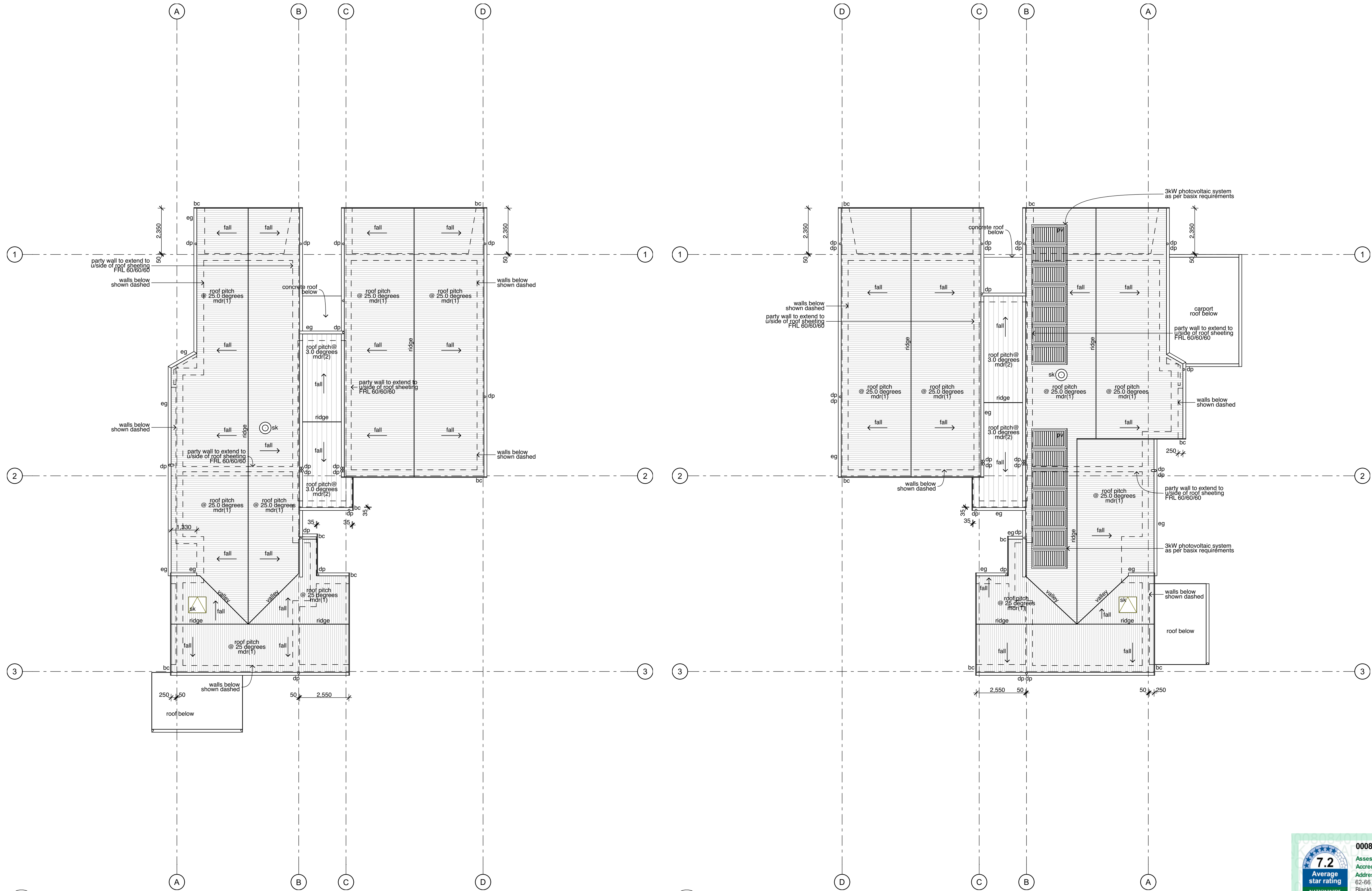
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23/6/2023	1:100 @ A1	2793.22	BGYPX
Stage:	Drawn:	Checked:	Approved:
	JOK, DD	JOK	JOK
Drawing:	Sheet:		Rev:
DA05	6	of 14	02



Legend (roof plans)
note: drawing may not contain all items listed below

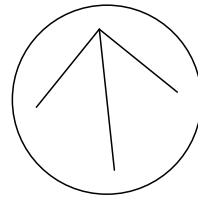
ap	access panel
bc	barge capping
dp	downpipe
eg	eaves gutter
ex	existing
fg	flashing
gu	gutter
mdr	metal deck roof sheeting
of	overflow
pc	parapet capping
pv	photovoltaic cells
rrc	roof ridge capping
rwh	rainwater head
sk	skylight/skytube
tf	tray flashing
vg	valley gutter
vof	vertical overflow
vp	vent pipe

- note:
- provide flashings and cappings to all roof penetrations in accordance with roof manufacturers details
 - gutter on brackets as specified.
 - roof safety system to be installed. refer to specification
 - provide gutter-guards to all guttering throughout. refer to reference specification for 'group homes' construction adhc august 2012
 - metal roof sheeting to comply with AS1562.1
 - gutters, downpipes and flashing must comply with AS/NZ 2179.1 and AS1273 and not contain any lead for potable water supplies. The roof water is not proposed to be used for potable water supply.
 - down pipe sizes are required to satisfy the requirements of BCA 3.5.2.5
 - the fire hazard properties of materials used must comply with the following:
(a) sacking-type materials used in the roof must have a flammability index not greater than 5
(b) flexible ductwork used for the transfer of products initiating from a heat source that contains a flame must comply with the fire hazard properties set out in AS4254.



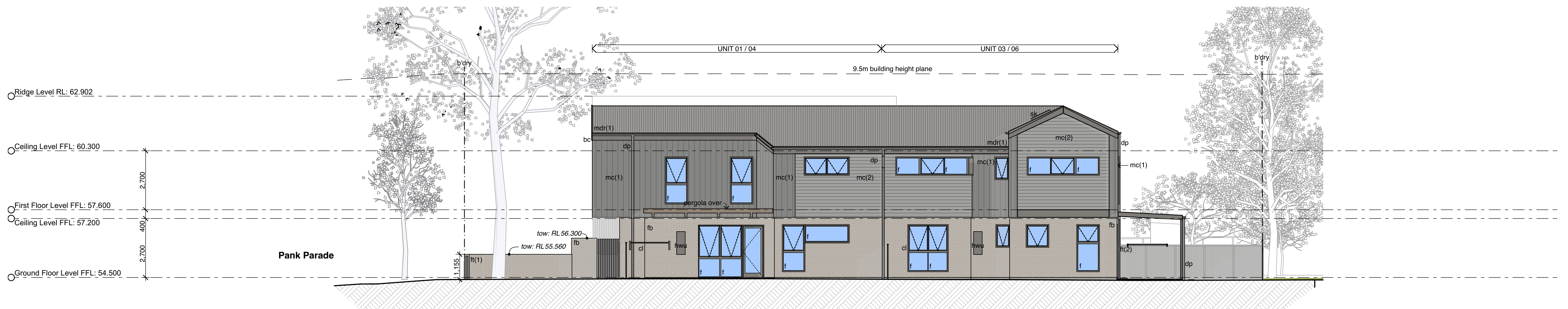
3. Roof Plan (Block A)
1:100

3. Roof (Block B)
1:100

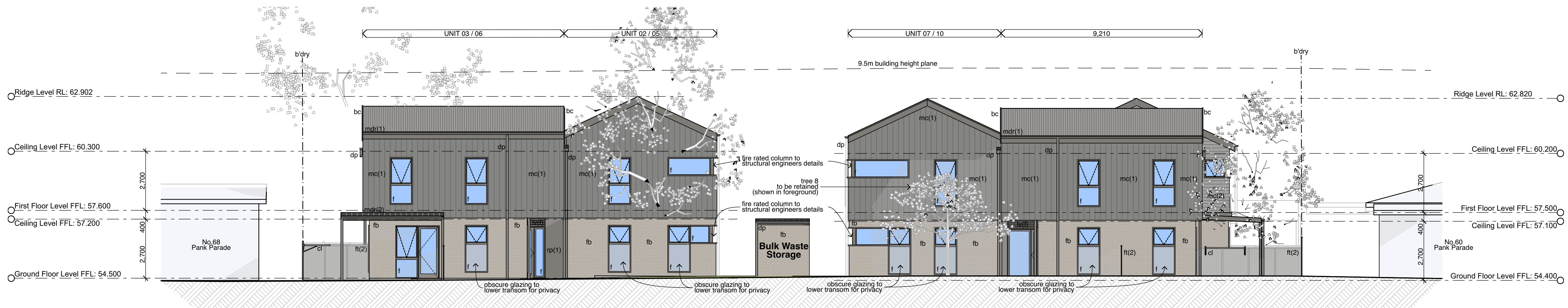




E01 North Elevation (Pank Parade)
1:100



E02 West Elevation
1:100



E03 South Elevation
1:100

- Legend** (elevation & sections)
note: drawing may not contain all items listed below
- ac air conditioner condenser
 - ag ag pipe
 - alw aluminium framed window
 - bal(1) balustrade (type)
 - bc barge capping
 - bg box gutter
 - bhc brick header course
 - boe brick on edge
 - bws brickwork sill
 - cfc compressed fibre cement
 - cj control joint
 - conc concrete
 - cs coved skirting
 - dp downpipe
 - drh door head
 - eg eaves gutter
 - egl existing ground line
 - ex existing
 - f fixed sash window
 - fb(1) face brickwork (type)
 - fci finished ceiling level
 - fti finished floor level
 - fp feature panel
 - ft(1) fence (type)
 - gl ground line
 - gt gate
 - hr(1) handrail (type)
 - hwu hot water unit
 - ip insulated panel
 - lv(f) fixed louvres
 - lv(o) operable louvres
 - mc(1) metal cladding (type)
 - mdr metal deck roof
 - ofc off form concrete
 - p(1) paint (type)
 - pap(1) perforated acoustic panel (type)
 - pbd plasterboard
 - ps privacy screen
 - pv photovoltaic cells
 - rc rendered concrete
 - rms raked metal soffit
 - rp(1) render & paint finish (type)
 - rs roller shutter
 - rw retaining wall
 - rwh rainwater head
 - s sliding sash window
 - sc steel column
 - sk skylight/skytube
 - sl sliding door
 - ss(1) sun shade (type)
 - ts timber skirting
 - wcs window casing
- note:
1. all handrails, balustrades & louvres shown
indicatively only, refer to detail drawings for
clarity
2. refer to engineer's drawings for final co-
ordination.
3. acoustic panel edges at all major joints (solid
line) & all exposed edges including top
(adjoining s/s sill) & bottom (adjoining skirting)
are to include 12x12mm aluminium angle.

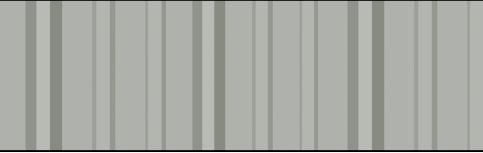
External Finishes:



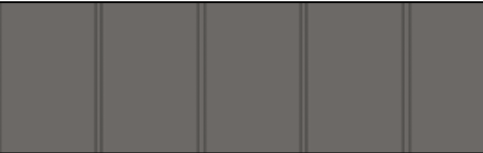
Face Brick - fb(1)
Colour: "Light brick"



Metal Deck Roofing - mdr(1)
Colorbond - Klip-Lok Classic 700
Colour: "Medium Grey"



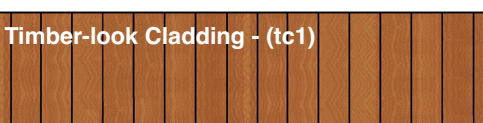
Metal Deck Roofing - mdr(2)
Colorbond - Klip-Lok Classic 700
Colour: "Light Grey"



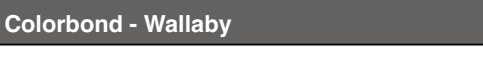
Metal Cladding - mc(1)
Colour: "Medium Grey"



Metal Cladding - mc(2)
Colour: "Light Grey"



Timber-look Cladding - (tc1)
Colorbond - Wallaby



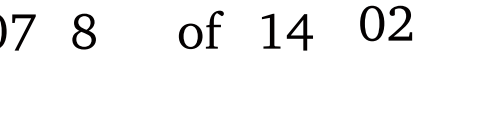
Rendered and painted (rp1)
Gutters, fascias, downpipes



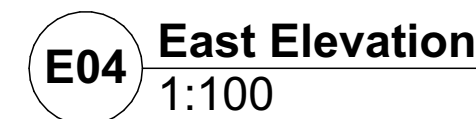
Balustrades
Glass
Coloured - Wallaby Grey Tint



Fences - ft(1)
Face Brick Colour: "Light Brick"



Fences - ft(2)
Colorbond - Wallaby



Status: Part 5 Activity Submission			
Date:	Scale:	S/d job no:	Project no.
23/6/2023	1:100 @ A1	2793.22	BGYPX
Stage:	Drawn:	Checked:	Approved:
	JOK, DD	JOK	JOK
Drawing:	Sheet:		Rev:
DA08	9	of 14	02

Fences - ft(2)

Colorbond - Wallaby

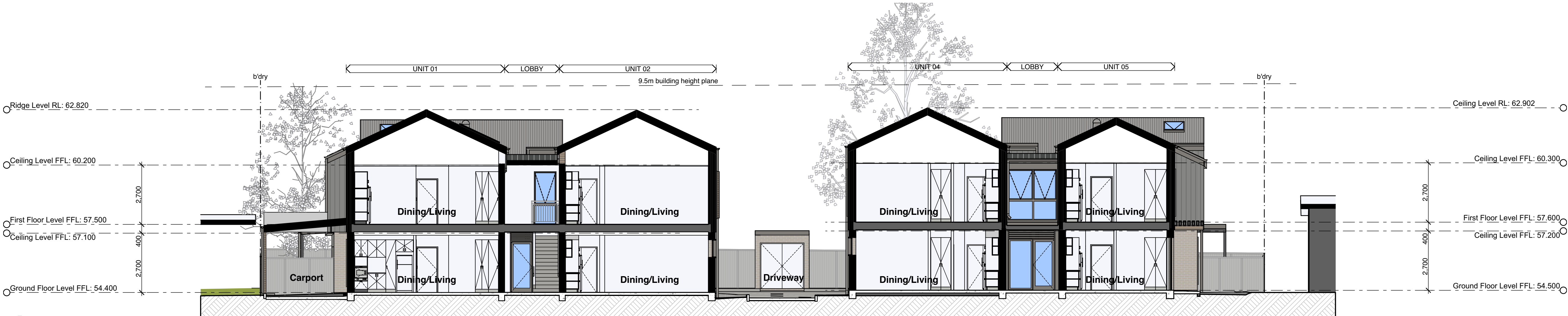




E07 North Elevation - Streetscape
1:100



S01 Section 01
1:100



S02 Section 02
1:100

Legend	
(elevation & sections)	
note: drawing may not contain all items listed below	
ac	air conditioner condenser
ag	ag pipe
alw	aluminium framed window
bal(1)	balustrade (type)
bc	barge capping
bg	box gutter
bhc	brick header course
boe	brick on edge
bws	brickwork sill
cfc	compacted fibre cement
cj	control joint
conc.	concrete
cs	coved skirting
dp	downpipe
drh	door head
eg	eaves gutter
egl	existing ground line
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
fci	finished ceiling level
fti	finished floor level
fp	feature panel
ft(1)	fence (type)
gl	ground line
gl	gate
hr(1)	handrail (type)
hwu	hot water unit
ip	insulated panel
lv(f)	fixed louvres
lv(o)	operable louvres
mc(1)	metal cladding (type)
mdr	metal deck roof
ofc	off form concrete
p(1)	paint (type)
pap(1)	perforated acoustic panel (type)
pbd	plasterboard
ps	privacy screen
pv	photovoltaic cells
rc	rendered concrete
rms	raked metal soffit
rp(1)	render & paint finish (type)
rs	roller shutter
rw	retaining wall
rwh	rainwater head
s	sliding sash window
sc	steel column
sk	skylight/skytube
sl	sliding door
ss(1)	sun shade (type)
ts	timber skirting
wcs	window casing

- note:
1. all handrails, balustrades & louvres shown indicatively only, refer to detail drawings for clarity
 2. refer to engineer's drawings for final co-ordination.
 3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.

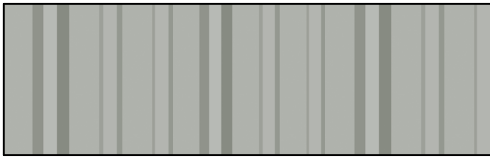
External Finishes:



Face Brick - fb(1)
Colour: "Light brick"



Metal Deck Roofing - mdr(1)
Colorbond - Klip-Lok Classic 700
Colour: "Medium Grey"



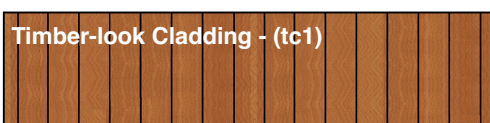
Metal Deck Roofing - mdr(2)
Colorbond - Klip-Lok Classic 700
Colour: "Light Grey"



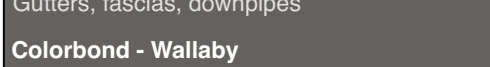
Metal Cladding - mc(1)
Colour: "Medium Grey"



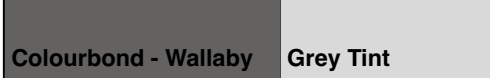
Metal Cladding - mc(2)
Colour: "Light Grey"



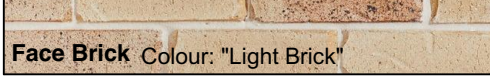
Timber-look Cladding - (tc1)



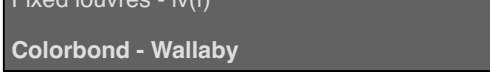
Rendered and painted (rp1)
Gutters, fascias, downpipes
Colorbond - Wallaby



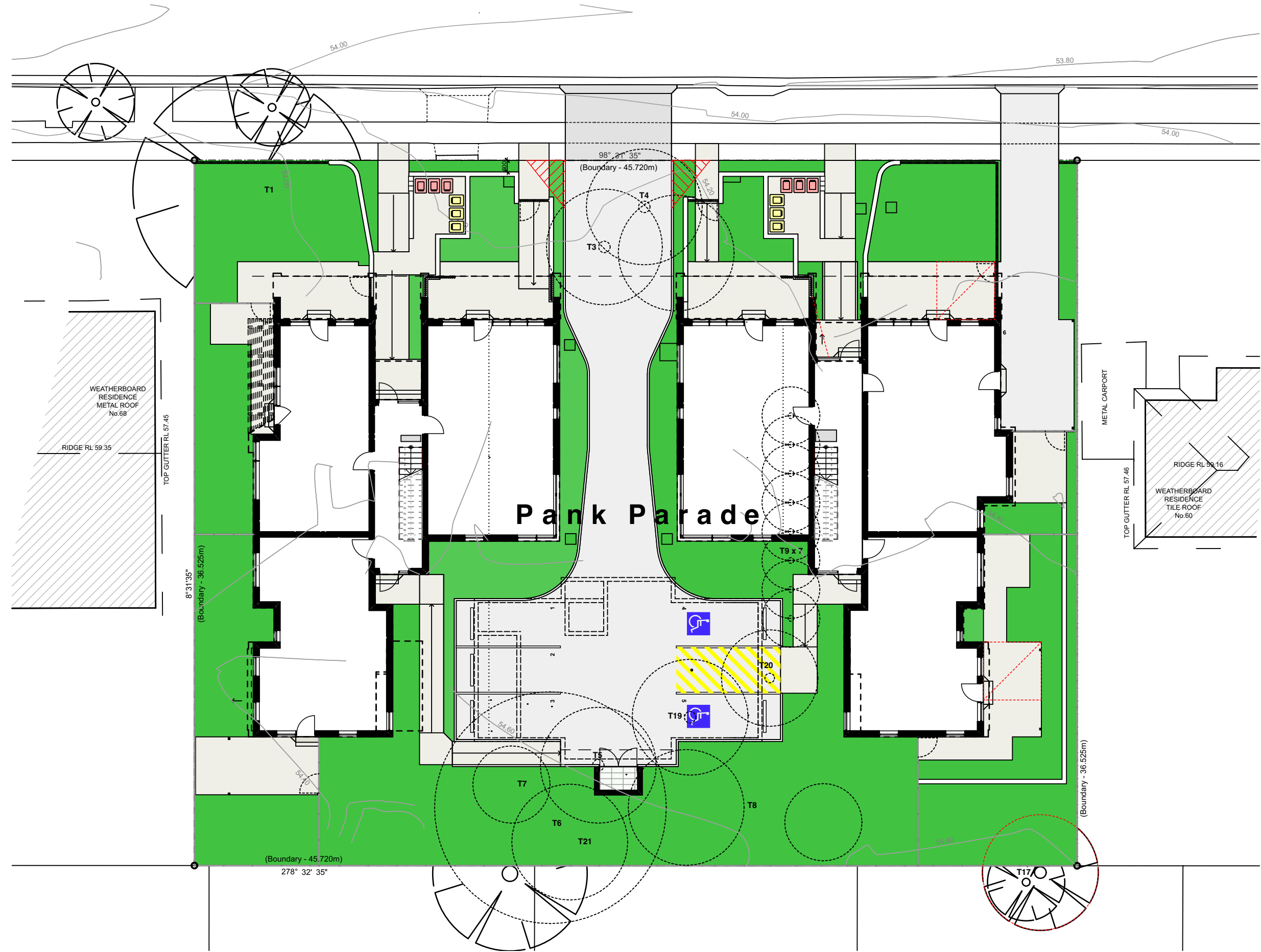
Balustrades - Glass
Colourbond - Wallaby Grey Tint



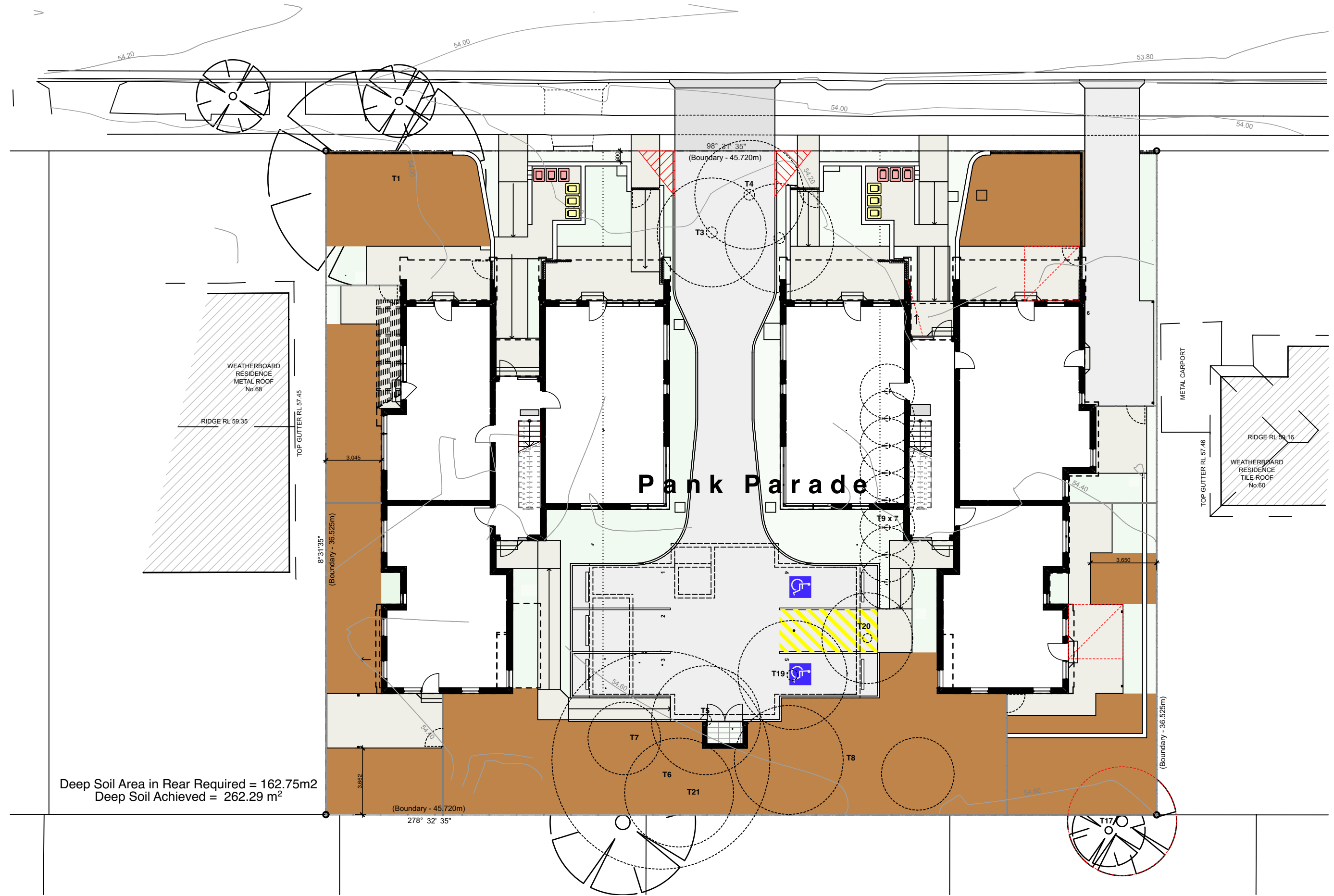
Fences - ft(1)
Face Brick Colour: "Light Brick"



Fences - ft(2)
Fixed louvres - lv(f)
Colorbond - Wallaby



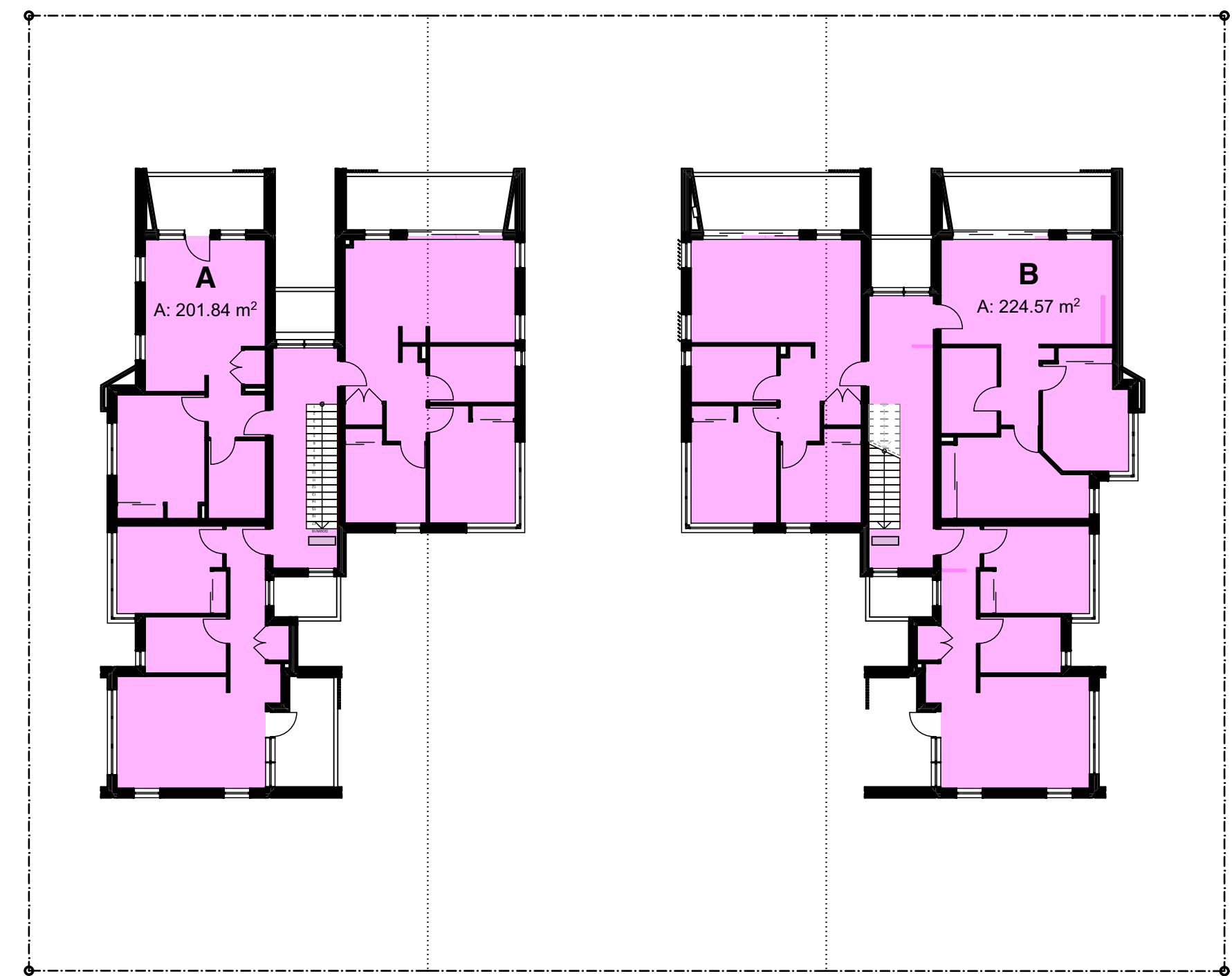
1 Soft Landscape Drawing
1:200



2 Deep Soil Diagram
1:200



4 GFA Plan - Ground Floor
1:200



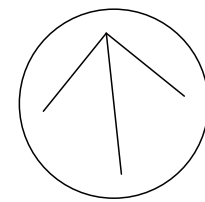
5 GFA Plan - Level 1
1:200

Legend
note: drawing may not contain all items listed below

note:
Green area indicates
landscape area
Total: 604.02m²

note:
Brown area indicates deep soil
zone (min. dim 3x3m)
Total: 412.83m²

note:
Pink area indicates Gross Floor
Area
Total: 870.68m²



02		Part 5 Submission - Response to Council Request
01		Part 5 Submission
Rev	Date	Issue
do not scale drawings. check all dimensions on site. figured dimensions take precedence.		

Project Architect:
Stanton Dahl Architects
Ph: (02) 8544 1683

Landscape Consultant:
Botanique Design
Ph: 0404 887 620

Hydraulic & Structural Consultant:
Greenview Consulting
Ph: (02) 8544 1683

Electrical Consultant:
Greenview Consulting
Ph: (02) 8544 1683

Architect:

Stanton
Dahl
Architects

Project:
Senior Living Development
at
62-66 Pank Parade, Blacktown

Title:
Landscape ,Deep Soil & GFA
Diagrams
File:
2793.22_62-66 Pank St_Site Master_ID

Status: Part 5 Activity Submission

Date:	23/6/2023	Scale:	1:200 @ A1	S/d job no.:	2793.22	Project no.:	BGYPX
Stage:	JOK, DD	Drawn:	JOK	Checked:	JOK	Approved:	JOK
Drawing:	DA10	Sheet:	11	Rev:			

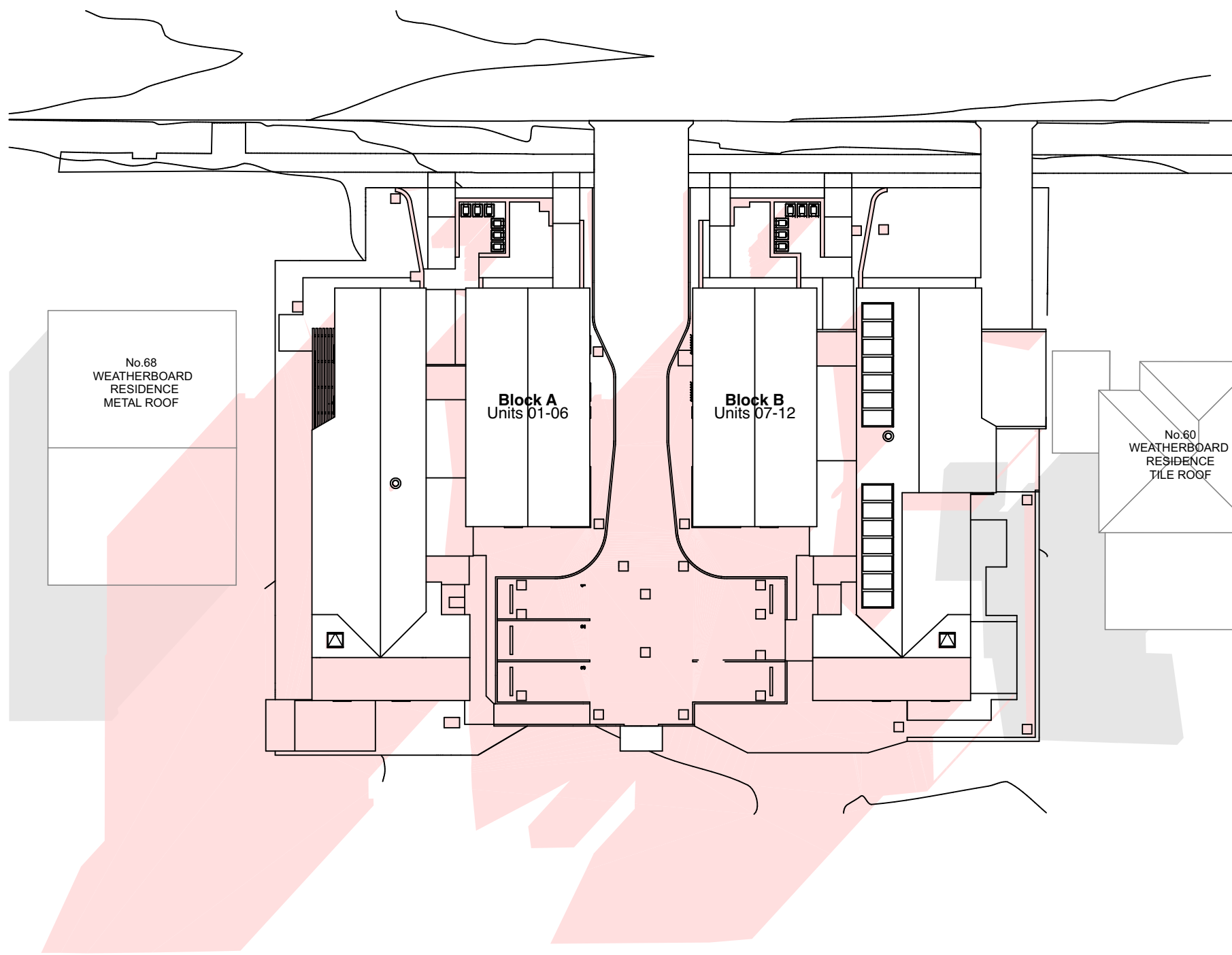
of 14 02



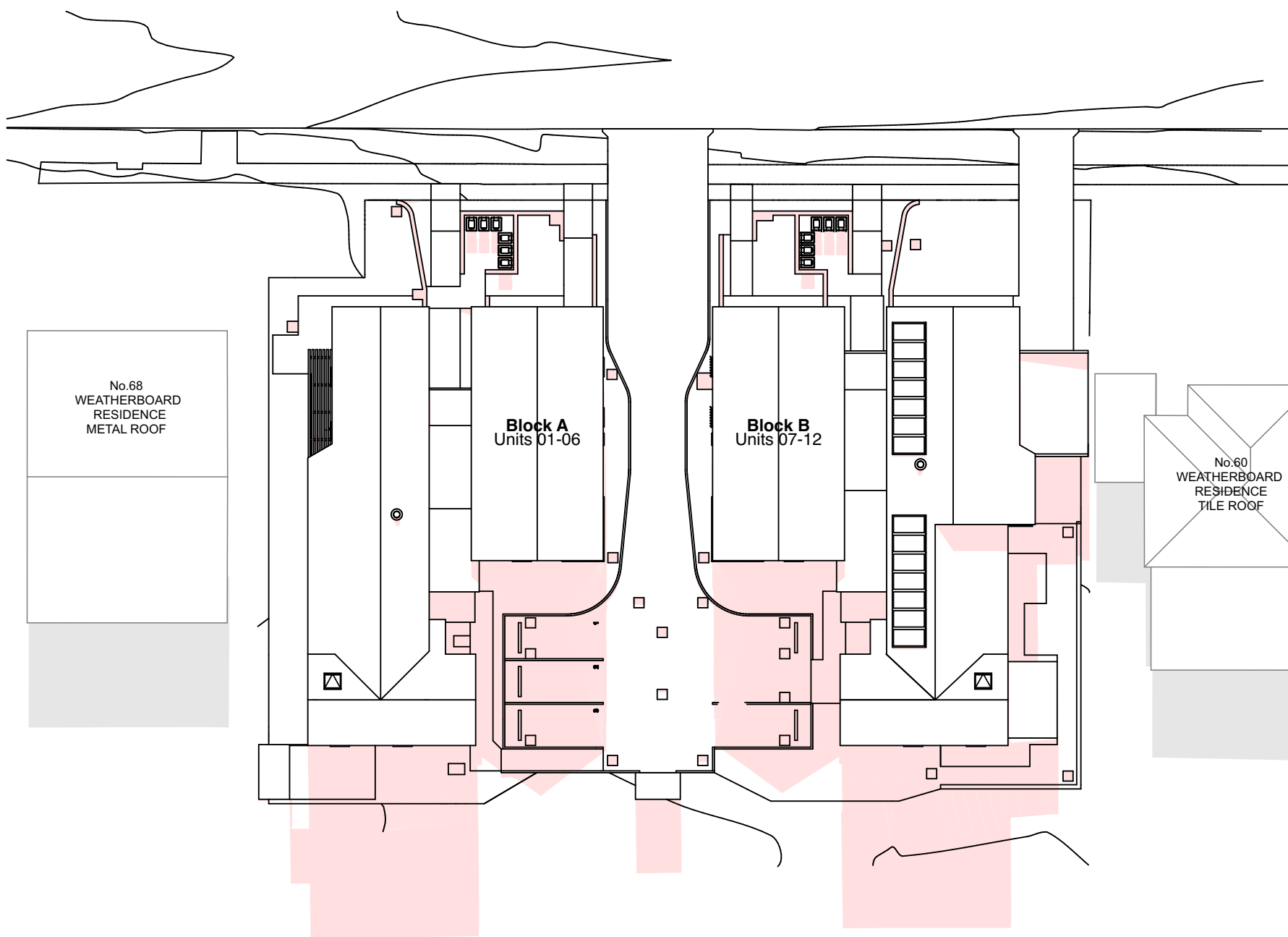
Legend shadow diagrams
note: drawing may not contain all items listed below

note:
shadows cast: proposed buildings

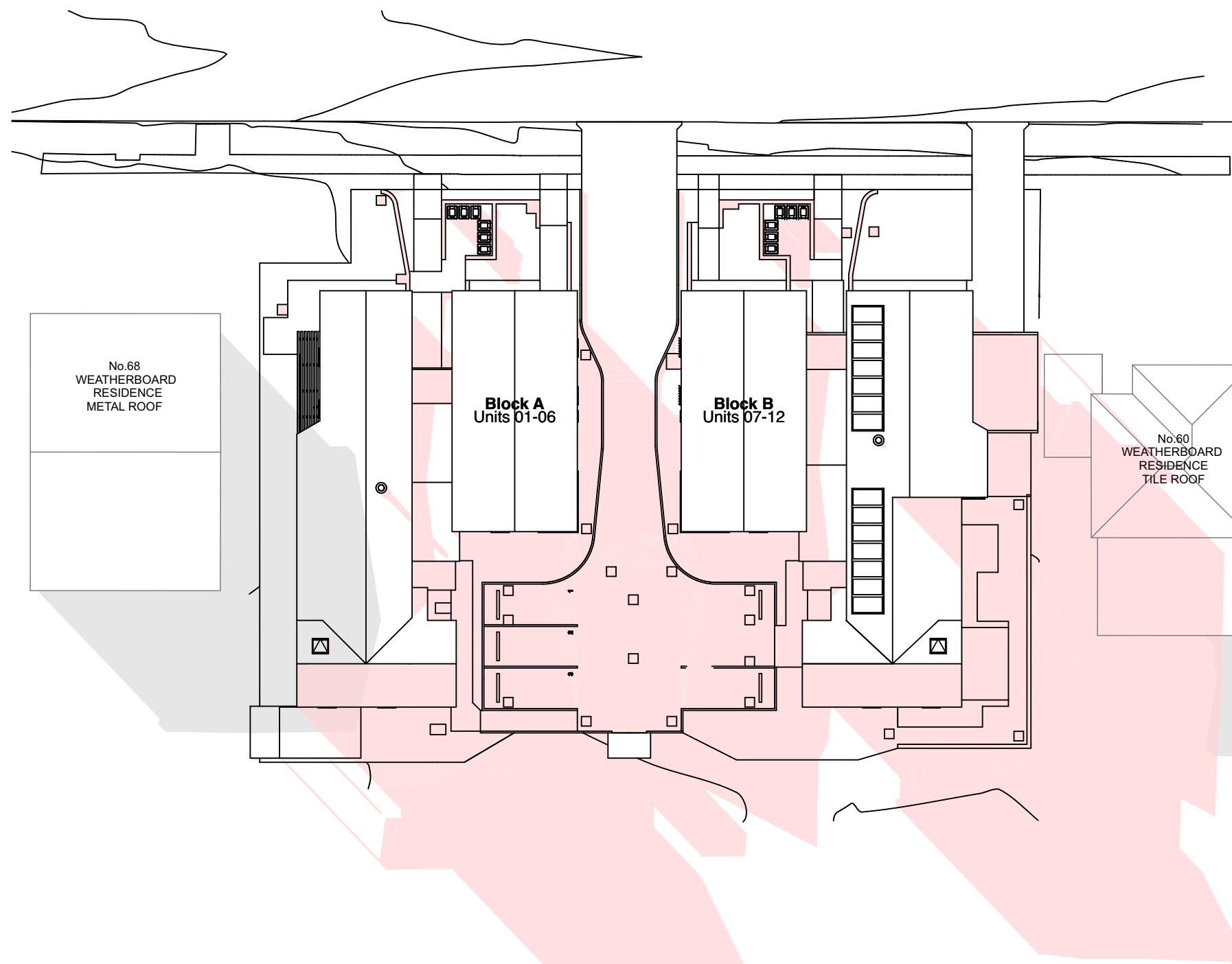
note:
shadows cast: existing neighbour
buildings



1 Shadows - 21 June (proposed) 9am
1:300



2 Shadows - 21 June (proposed) 12noon
1:300



3 Shadows - 21 June (proposed) 3pm
1:300

Living Areas									
Unit no.	9am	10am	11am	noon	1pm	2pm	3pm	total hours	complies
1	✓	✓	✓	✓	✓	✓	✓	6	y
2	✓	✓	✓	✓	✓	✓	✓	6	y
3	x	x	x	x	✓	✓	✓	2	y
4	✓	✓	✓	✓	✓	✓	✓	6	y
5	✓	✓	✓	✓	✓	✓	✓	6	y
6	x	x	x	✓	✓	✓	✓	3	y
7	✓	✓	✓	✓	✓	✓	✓	6	y
8	✓	✓	✓	✓	✓	✓	✓	6	y
9	✓	✓	x	x	x	x	x	1	n
10	✓	✓	✓	✓	✓	✓	✓	6	y
11	✓	✓	✓	✓	✓	✓	✓	6	y
12	✓	✓	✓	x	x	x	x	2	n

70% of total no. of units must have 3 hours
sunlight to living areas between 9am & 3pm

*roof window to units 6 & 12 provides additional compliance

Complies 9/12 = 75%

POS									
Unit no.	9am	10am	11am	noon	1pm	2pm	3pm	total hours	complies
1	✓	✓	✓	✓	✓	✓	✓	6	y
2	✓	✓	✓	✓	✓	✓	✓	6	y
3	x	✓	✓	✓	✓	✓	✓	5	y
4	✓	✓	✓	✓	✓	✓	✓	6	y
5	✓	✓	✓	✓	✓	✓	✓	6	y
6	✓	✓	✓	x	x	x	x	3	y
7	✓	✓	✓	✓	✓	✓	✓	6	y
8	✓	✓	✓	✓	✓	✓	✓	6	y
9	✓	✓	✓	✓	x	x	x	4	y
10	✓	✓	✓	✓	✓	✓	✓	6	y
11	✓	✓	✓	✓	✓	✓	✓	6	y
12	x	x	✓	✓	✓	✓	✓	4	y

70% of total no. of units must have 3 hours sunlight to
private open space between 9am & 3pm

Complies 12/12 = 100%



view from sun @ 9am



view from sun @ 10am



view from sun @ 11am



view from sun @ 12pm



view from sun @ 1pm



view from sun @ 2pm



view from sun @ 3pm

Living Areas									
Unit no.	9am	10am	11am	noon	1pm	2pm	3pm	total hours	complies
1	✓	✓	✓	✓	✓	✓	✓	6	y
2	✓	✓	✓	✓	✓	✓	✓	6	y
3	x	x	x	x	✓	✓	✓	2	y
4	✓	✓	✓	✓	✓	✓	✓	6	y
5	✓	✓	✓	✓	✓	✓	✓	6	y
6	x	x	x	✓	✓	✓	✓	3	y
7	✓	✓	✓	✓	✓	✓	✓	6	y
8	✓	✓	✓	✓	✓	✓	✓	6	y
9	✓	✓	x	x	x	x	x	1	n
10	✓	✓	✓	✓	✓	✓	✓	6	y
11	✓	✓	✓	✓	✓	✓	✓	6	y
12	✓	✓	✓	x	x	x	x	2	n

70% of total no. of units must have 3 hours
sunlight to livings areas between 9am & 3pm

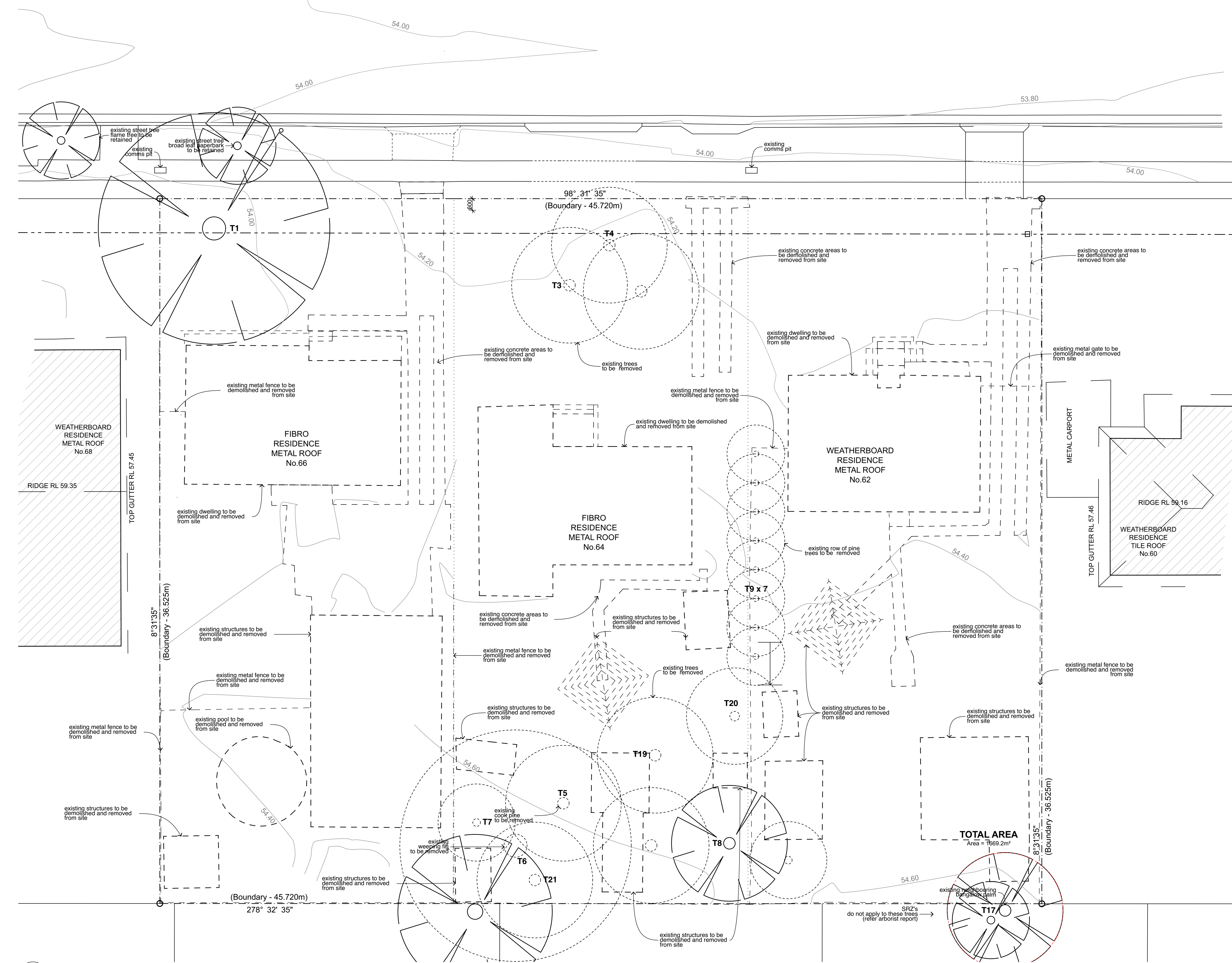
*roof window to units 6 & 12 provides additional compliance

Complies 9/12 = 75%

POS									
Unit no.	9am	10am	11am	noon	1pm	2pm	3pm	total hours	complies
1	✓	✓	✓	✓	✓	✓	✓	6	y
2	✓	✓	✓	✓	✓	✓	✓	6	y
3	x	✓	✓	✓	✓	✓	✓	5	y
4	✓	✓	✓	✓	✓	✓	✓	6	y
5	✓	✓	✓	✓	✓	✓	✓	6	y
6	✓	✓	✓	x	x	x	x	3	y
7	✓	✓	✓	✓	✓	✓	✓	6	y
8	✓	✓	✓	✓	✓	✓	✓	6	y
9	✓	✓	✓	✓	x	x	x	4	y
10	✓	✓	✓	✓	✓	✓	✓	6	y
11	✓	✓	✓	✓	✓	✓	✓	6	y
12	x	x	✓	✓	✓	✓	✓	4	y

70% of total no. of units must have 3 hours sunlight to
private open space between 9am & 3pm

Complies 12/12 = 100%



Legend

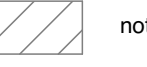
demolition plan
note: drawing may not contain all items listed below



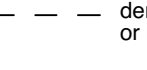
existing trees to be retained



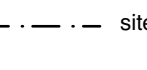
existing trees to be removed



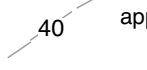
not in scope of works



denotes existing items to be demolished or removed (walls, equipment etc.)



site boundaries

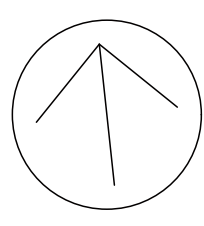


approx. location of existing contours

- note:
- all demolition to be undertaken pursuant to Safe Work NSW Code of practice.
 - existing buildings may contain asbestos, as built prior to 1984.
 - this drawing shall be read in conjunction with structural and service engineer documents.
 - broken lines indicate general extent of demolition and removal but full extent of these works includes all ancillary and associated elements not necessarily described by the specific notes.
 - where ex. walls are to be demolished, provide all temporary structural supports as required and as detailed by engineer. all redundant equipments to be returned to client for storage.
 - refer to services consultants drawings for removal of ex. services and requirements.

01 Site Plan - Option 1

1:100



02		Part 5 Submission - Response to Council Request
01		Part 5 Submission
Rev	Date	Issue
do not scale drawings. check all dimensions on site. figured dimensions take precedence.		

Project Architect:
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Electrical Consultant:
Greenview Consulting
Ph: (02) 8544 1683

Architect:

Stanton Dahl Architects

Project:
Senior Living Development
at
62-66 Pank Parade, Blacktown

Title:
Demolition Plan

File:
2793.22_62-66 Pank St_Site Master_ID

Plotted: 23/6/2023

Status: Part 5 Activity Submission

Date:	23/6/2023	Scale:	1:100 @ A1	S/d job no:	2793.22	Project no:	BGYPX
Stage:	JOK, DD	Drawn:	JOK	Checked:	JOK	Approved:	JOK
Drawing:	DA13	Sheet:	14	Rev:	14		02

